

GENERAL NOTES

- PROPERTY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY TITLED "PROPERTY SURVEY, PREPARED FOR: MAURO MOTORS, 576 WASHINGTON AVENUE, NORTH HAVEN, CT, SCALE: 1"=60', DATED: OCTOBER 20, 1998, PREPARED BY: MILONE AND MACBROOM, INC.
- NORTH ARROW, BEARINGS AND COORDINATES ARE BASED UPON THE CONNECTICUT COORDINATE SYSTEM (NAD 1983). ELEVATIONS, CONTOURS AND BENCH MARK ARE BASED UPON (NAVD 1988)
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL, OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- SLR INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION, MEANS OF CONSTRUCTION, AND SIZE OF ELECTRIC, TELEPHONE, AND CABLE TELEVISION ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002", AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL, AND BE SEEDED WITH GRASS, AS SHOWN ON THE PLANS.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF NORTH HAVEN REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 618 AND ADDENDUMS.
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS USED DURING CONSTRUCTION SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED, INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
- A SANITARY SEWER PERMIT FROM THE TOWN OF NORTH HAVEN WILL BE REQUIRED AND THE CONTRACTOR SHALL NOTIFY THE TOWN OF NORTH HAVEN 24 HOURS PRIOR TO ANY SEWER WORK TO SCHEDULE THE REQUIRED INSPECTIONS.
- A PRE-CONSTRUCTION MEETING, SCHEDULED THROUGH THE TOWN PLANNING DEPARTMENT, SHALL BE HELD PRIOR TO CONSTRUCTION.
- ALL SIDEWALK RAMP SHALL BE DESIGNED IN ACCORDANCE WITH ADA REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION. THE PLANS SHALL INCLUDE HANDICAP RAMP DETAILS, AND THE SPECIFIC RAMP TYPE SHOULD BE CALLED OUT AT EACH RAMP. SEE STANDARD SIDEWALK RAMP DETAILS ON SHEETS SD-7 AND SD-8.
- THERE SHALL BE NO OUTDOOR STORAGE OTHER THAN OPERABLE MOTOR VEHICLES ON SITE.
- ALL WORK IN THE STATE RIGHT OF WAY WILL BE CONSTRUCTED TO CTDOT STANDARDS.
- A SPECIAL PERMIT/CERTIFICATE OF LOCATION WAS APPROVED FOR A CAR DEALER'S LICENSE BY THE ZONING BOARD OF APPEALS ON MAY 17, 2018 (#18-10)

PROPOSED MAURO MOTORS PRE-OWNED AUTOMOTIVE SALES & SERVICE

576 WASHINGTON AVENUE (ROUTE 5)
NORTH HAVEN, CONNECTICUT

SLR #1894-06

JUNE 7, 2019

REVISED: SEPTEMBER 25, 2019

REVISED: OCTOBER 10, 2019

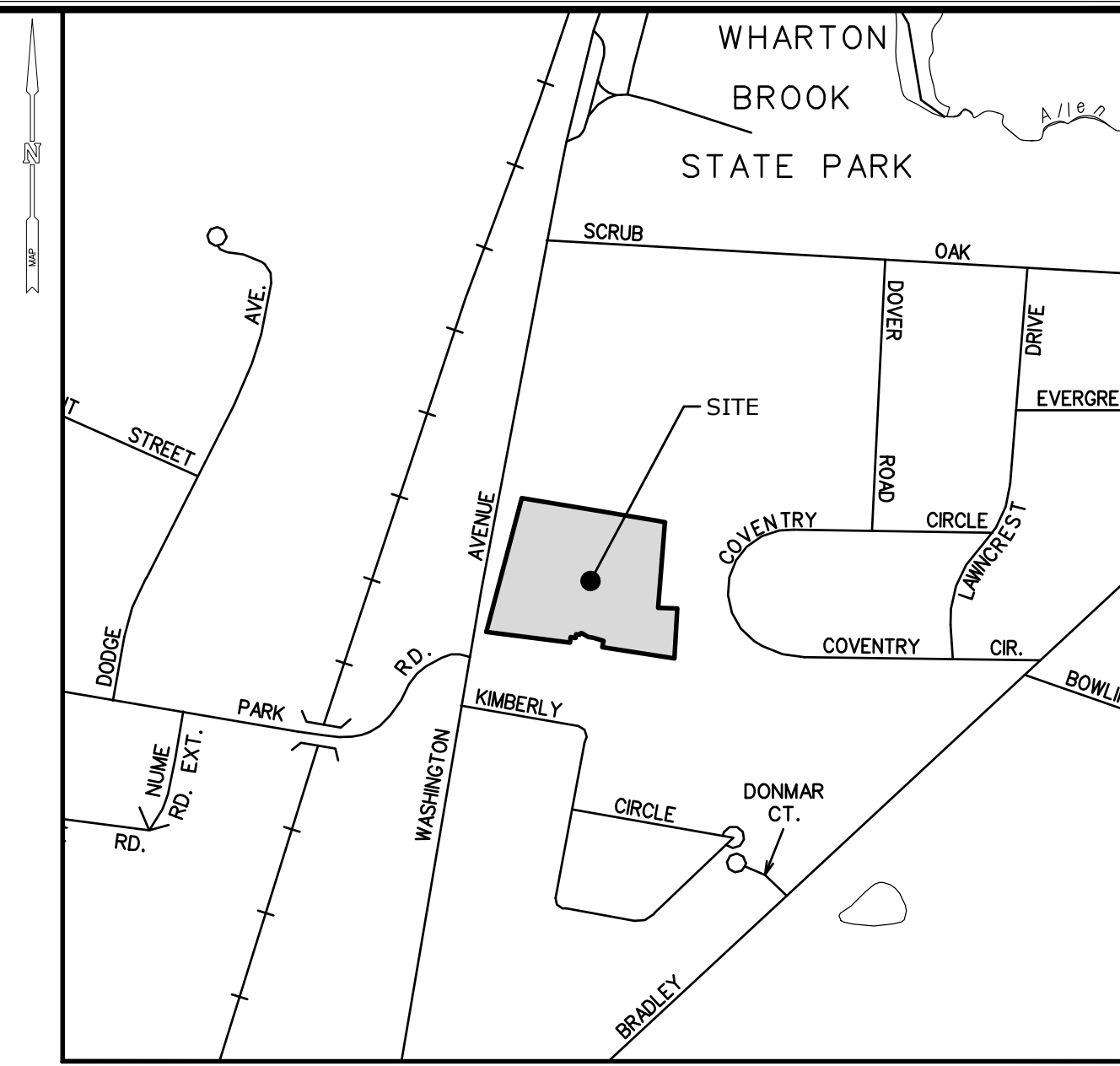
REVISED: NOVEMBER 21, 2019

REVISED: JANUARY 29, 2020

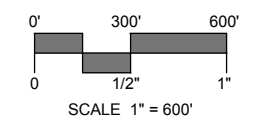
REVISED: JUNE 22, 2020

REVISED: JULY 31, 2020

REVISED: JANUARY 7, 2022 (SITE PLAN AMENDMENT)

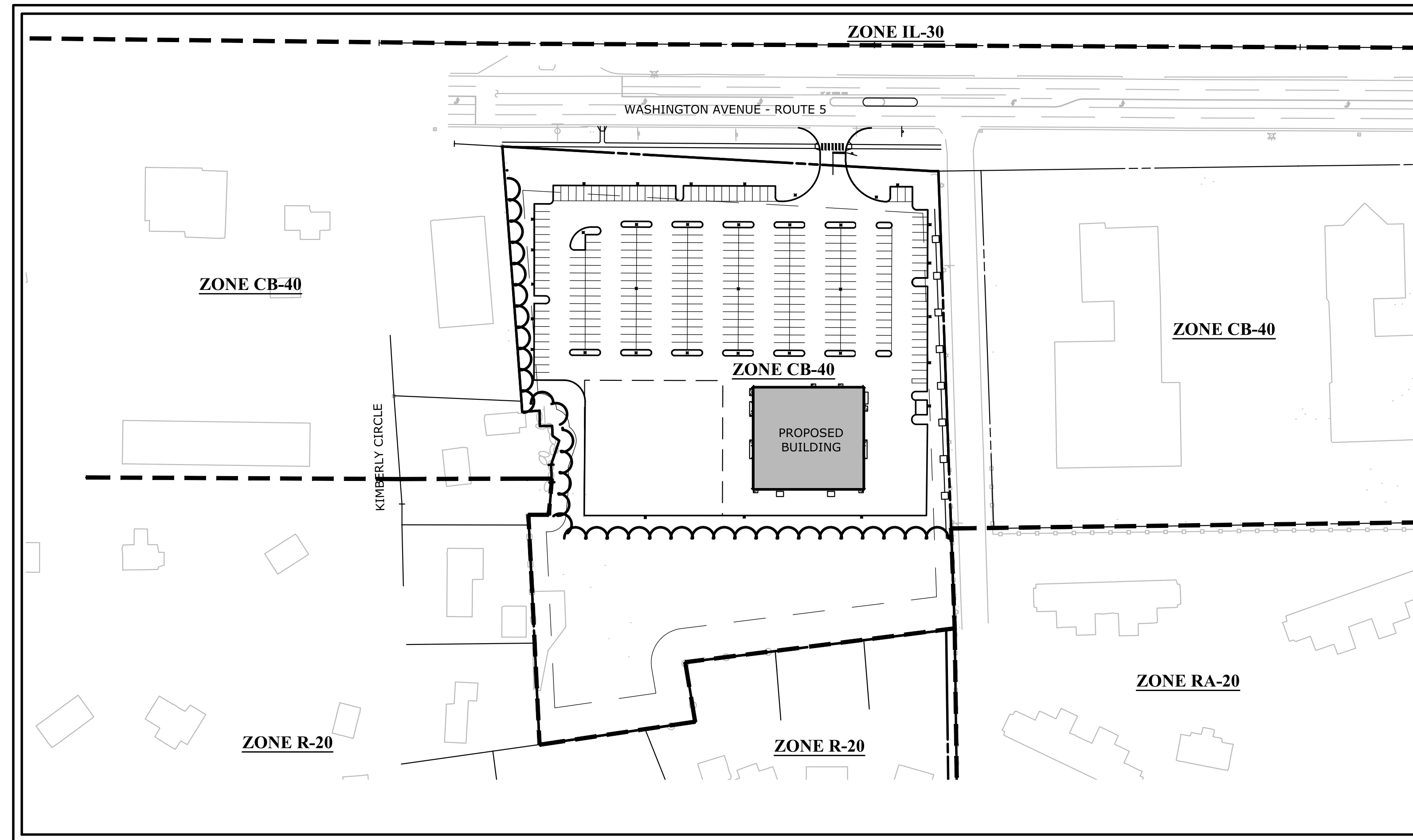


LOCATION MAP:

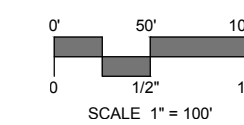


**EROSION CONTROL NOTES
CONTRACTOR RESPONSIBILITIES**

- SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER. A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
- THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MODIFIED BY THE CONTRACTOR AT THE DIRECTION OF THE ENGINEER AND THE TOWN'S DESIGNATED REPRESENTATIVE AS NECESSITATED BY CHANGING SITE CONDITIONS.
- INSPECTION OF THE SITE FOR EROSION SHALL CONTINUE FOR A PERIOD OF THREE MONTHS AFTER COMPLETION WHEN RAINFALLS OF ONE INCH OR MORE OCCUR.
- ALL DEWATERING WASTE WATERS SHALL BE DISCHARGED IN A MANNER WHICH MINIMIZES THE DISCOLORATION OF THE RECEIVING WATERS.
- THE SITE SHOULD BE KEPT CLEAN OF LOOSE DEBRIS, LITTER, AND BUILDING MATERIALS SUCH THAT NONE OF THE ABOVE ENTER WATERS OR WETLANDS.
- A COPY OF ALL PLANS AND REVISIONS, AND THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CATCH BASIN SUMPS SHOULD BE INSPECTED AFTER CONSTRUCTION COMPLETION AND SEDIMENT REMOVED. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED LOCATION.



PROJECT SITE VICINITY MAP:



ZONING DATA TABLE			
ZONE: CB-40 (COMMERCIAL)			
ZONE	EXISTING	APPROVED	PROPOSED
LOT AREA	40,000 SF. MIN.	303,900 SF.	UNCHANGED
LOT WIDTH	150 FT.	510 FT.	UNCHANGED
FRONT YARD	50 FT.	269 FT.	257 FT.
SIDE YARD	20 FT.	106 FT.	96 FT.
REAR YARD	50 FT.	185 FT.	176 FT.
BUILDING HEIGHT	55 FT.	30 FT.	27 FT.
BUILDING COVERAGE (%)	20%	4%	5%

PARKING CALCULATIONS	
TYPE	PROVIDED
CUSTOMER	10
EMPLOYEE	10
HANDICAP ACCESSIBLE	2
TOTAL	22

*REMAINING SPACES ARE FOR INVENTORY STORAGE

PREPARED BY:



99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

OWNER/APPLICANT:

576 WASHINGTON AVENUE LLC.
610 WASHINGTON AVENUE
NORTH HAVEN, CT 06473



EXISTING	LEGEND	PROPOSED
[Symbol]	STREET LINE	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	SETBACK LINE	[Symbol]
[Symbol]	MAJOR CONTOUR	[Symbol]
[Symbol]	MINOR CONTOUR	[Symbol]
[Symbol]	SPOT GRADE	[Symbol]
[Symbol]	TREE LINE	[Symbol]
[Symbol]	TREE/ SHRUB	[Symbol]
[Symbol]	STONEWALL	[Symbol]
[Symbol]	SITE LIGHT	[Symbol]
[Symbol]	HYDRANT	[Symbol]
[Symbol]	WATER VALVE	[Symbol]
[Symbol]	GAS VALVE	[Symbol]
[Symbol]	CATCH BASIN	[Symbol]
[Symbol]	MANHOLE/YARD DRAIN	[Symbol]
[Symbol]	SANITARY SEWER W/MANHOLE	[Symbol]
[Symbol]	STORM DRAIN	[Symbol]
[Symbol]	WATER MAIN	[Symbol]
[Symbol]	GAS MAIN	[Symbol]
[Symbol]	ELECTRIC LINE	[Symbol]
[Symbol]	ELECTRIC, TELEPHONE, CABLE	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	TRAFFIC SIGN	[Symbol]
[Symbol]	IRON PIPE	[Symbol]
[Symbol]	MONUMENT	[Symbol]
[Symbol]	EDGE OF PAVEMENT W/CURB	[Symbol]
[Symbol]	GUARD RAIL	[Symbol]
[Symbol]	CHAIN LINK FENCE	[Symbol]
[Symbol]	WATERCOURSE	[Symbol]
[Symbol]	WETLAND	[Symbol]

LIST OF DRAWINGS

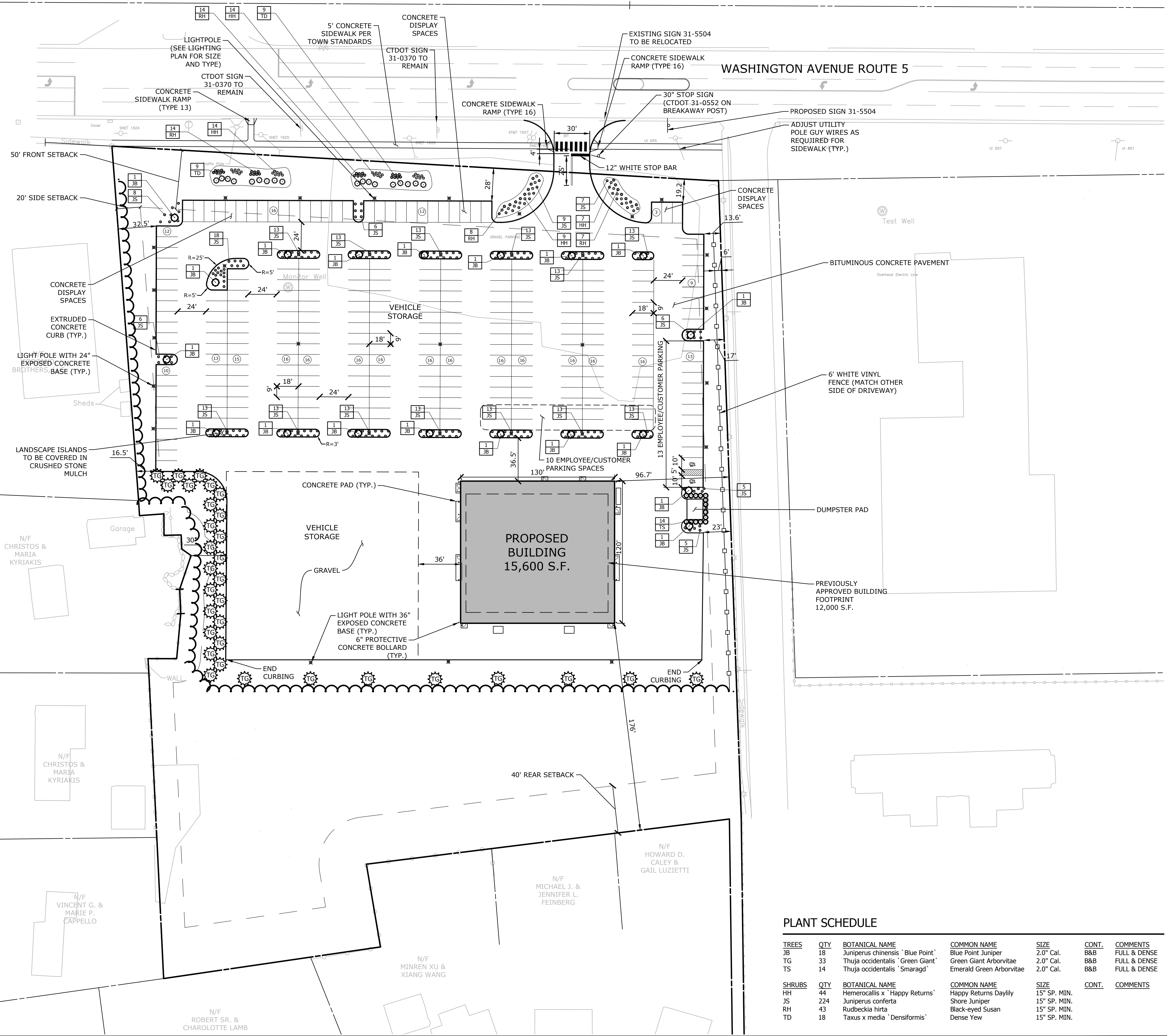
NO.	NAME	TITLE
01	--	TITLE SHEET
02	EX	EXISTING CONDITIONS
03	LA	SITE PLAN - LAYOUT AND LANDSCAPING
04	GU	SITE PLAN - GRADING AND UTILITIES
05	SE-1	SEDIMENT AND EROSION CONTROL PLAN
06	SE-2 (1)	SEDIMENT AND EROSION CONTROL SPECIFICATIONS AND DETAILS
07	SD-1 (1)	SITE DETAILS
08	SD-2 (1)	SITE DETAILS
09	SD-3 (1)	SITE DETAILS
10	SD-4 (1)	SITE DETAILS
11	SD-5 (1)	SITE DETAILS
12	SD-6 (1)	SITE DETAILS
13	SD-7 (1)	SITE DETAILS
14	SD-8 (1)	SITE DETAILS
15	1 OF 1	PROPERTY SURVEY

NOTE:
1. FOR SITE DETAILS, PLEASE REFER TO APPROVED SITE PLAN MATERIALS ENTITLED "PROPOSED MAURO MOTORS PRE-OWNED AUTOMOTIVE SALES & SERVICE, 576 WASHINGTON AVENUE (ROUTE 5), NORTH HAVEN, CONNECTICUT" DATED: JUNE 7, 2019 REVISED TO: JULY 31, 2020, PREPARED BY: MILONE & MACBROOM, INC. (CURRENTLY SLR INTERNATIONAL CORPORATION)



Know what's below.
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NOTE:
ALL WORK IN STATE RIGHT-OF-WAY TO BE CONSTRUCTED TO CTDOT STANDARDS.



PLANTING NOTES

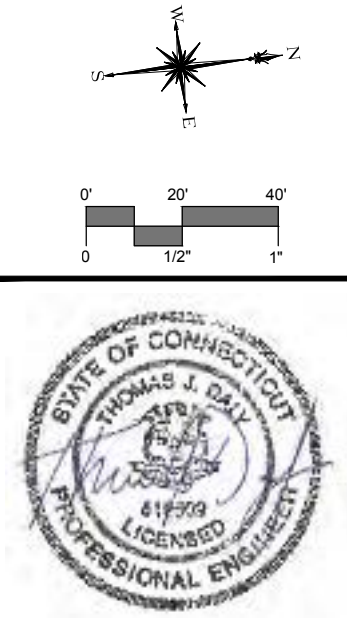
1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
2. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF TOPSOIL FOR ALL LAWN AREAS. WATER AS NECESSARY TO ESTABLISH TURF.
3. ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
4. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF SHREDDED MULCH OR CRUSHED STONE OVER ALL PLANTING BEDS AND TREE PLANTINGS.
5. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
6. PLANT SPECIES MAY BE ADJUSTED BASED ON AVAILABILITY AT TIME OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE TOWN OF NORTH HAVEN AND THE LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIALS SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND TO BE IN AN UNHEALTHY CONDITION BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
8. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACEMENT OF SICK OR DEAD PLANTS, RESETTING PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
9. WHERE A SIZE RANGE IS SPECIFIED AT LEAST 50% OF PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
10. CONTRACTOR TO REMOVE TREE STAKES AFTER ONE GROWING SEASON.
11. QUANTITY AND PLACEMENT OF PLANTS ARE APPROXIMATE AND ARE SUBJECT TO FINAL PLACEMENT IN THE FIELD BY THE DIRECTING LANDSCAPE ARCHITECT.
12. ALL LAWN AND LANDSCAPED AREAS TO BE SERVED BY AN AUTOMATIC SPRINKLER SYSTEM PER NORTH HAVEN ZONING REGULATIONS.

LAYOUT NOTES

1. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDINGS AND ASSOCIATED ARCHITECTURAL WALLS REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
3. ALL PARKING SPACE LINES TO BE STRIPED WITH 4" WIDE, WHITE, NON-REFLECTIVE PAINT.
4. PROVIDE 12" WIDE WHITE PAINTED STOP BAR AT ALL STOP SIGN LOCATIONS.
5. UNLESS OTHERWISE NOTED, ALL CURBING SHALL BE EXTRUDED CONCRETE CURB.

PLANT SCHEDULE

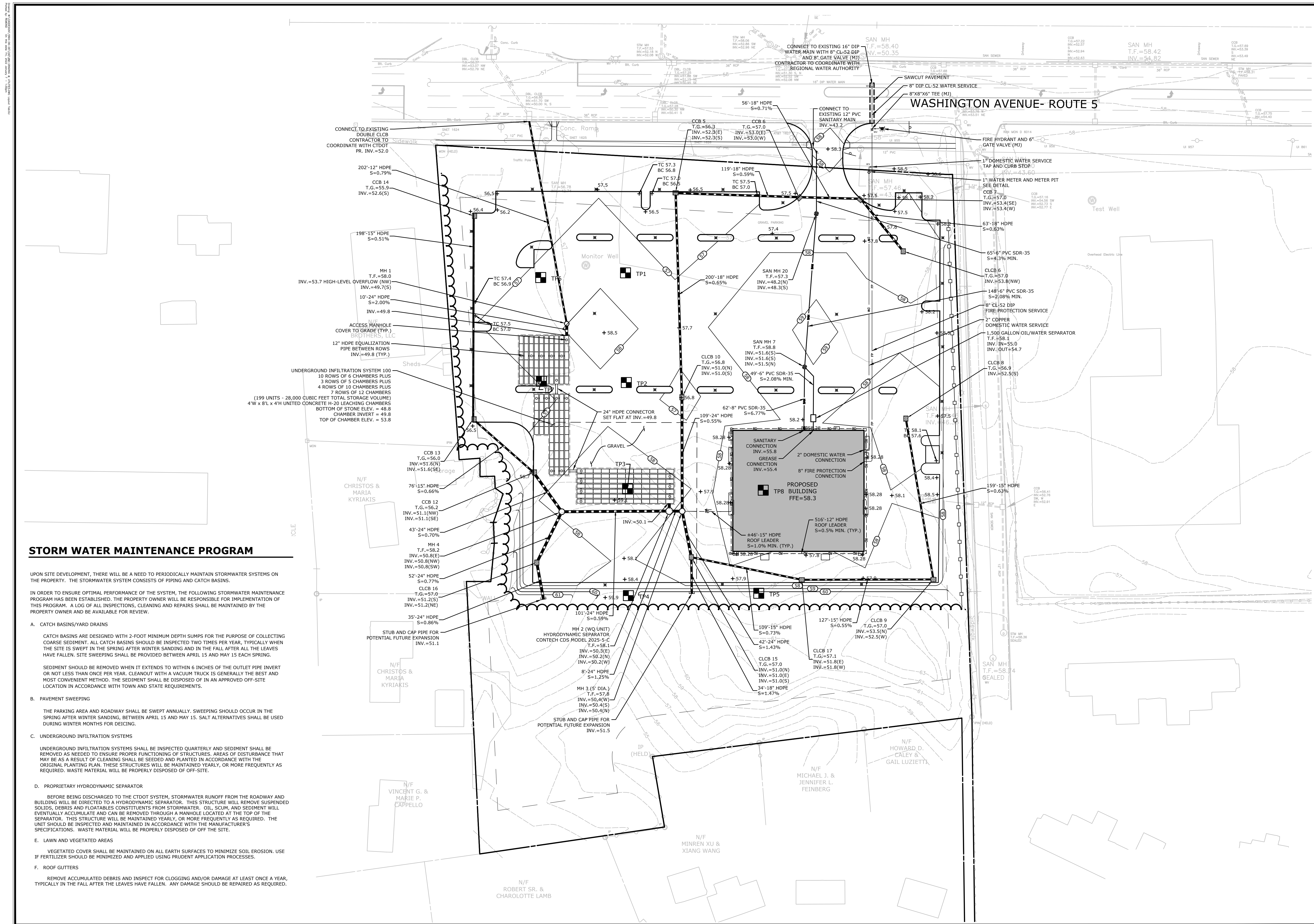
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
JB	18	Juniperus chinensis 'Blue Point'	Blue Point Juniper	2.0" Cal.	B&B	FULL & DENSE
TG	33	Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	2.0" Cal.	B&B	FULL & DENSE
TS	14	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	2.0" Cal.	B&B	FULL & DENSE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
HH	44	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	15" SP. MIN.		
JS	224	Juniperus conferta	Shore Juniper	15" SP. MIN.		
RH	43	Rudbeckia hirta	Black-eyed Susan	15" SP. MIN.		
TD	18	Taxus x media 'Densiformis'	Dense Yew	15" SP. MIN.		



DESCRIPTION	DATE	BY
DOT COMMENTS	09/25/2019	SK
DOT COMMENTS	10/10/2019	RYE
CONDITIONS OF APPROVAL	11/21/2019	RYE
SCOPE REDUCTION	07/29/2020	SK
PLANNING & ZONING RESUBMISSION	06/22/2020	SK
CONDITIONS OF APPROVAL	07/31/2020	RYE
SITE PLAN AMENDMENT	01/07/2022	RYE

SITE PLAN - LAYOUT AND LANDSCAPING
PROPOSED MAURO MOTORS PRE-OWNED AUTOMOTIVE SALES & SERVICE
 576 WASHINGTON AVENUE (ROUTE 5)
 NORTH HAVEN, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED
SCALE: 1"=40'		
DATE: JUNE 7, 2019		
PROJECT NO: 1894-06		
SHEET NO: 3 OF 15		
LA		

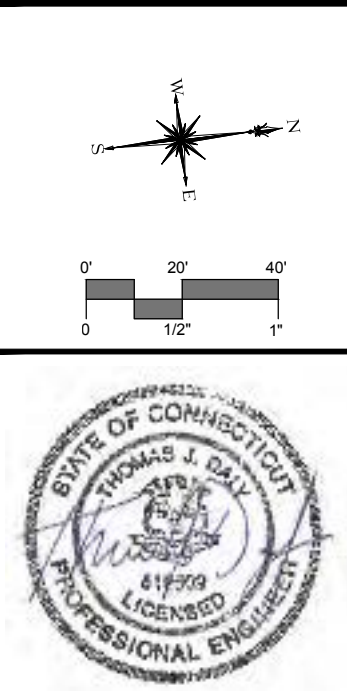


STORM WATER MAINTENANCE PROGRAM

UPON SITE DEVELOPMENT, THERE WILL BE A NEED TO PERIODICALLY MAINTAIN STORMWATER SYSTEMS ON THE PROPERTY. THE STORMWATER SYSTEM CONSISTS OF PIPING AND CATCH BASINS.

IN ORDER TO ENSURE OPTIMAL PERFORMANCE OF THE SYSTEM, THE FOLLOWING STORMWATER MAINTENANCE PROGRAM HAS BEEN ESTABLISHED. THE PROPERTY OWNER WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THIS PROGRAM. A LOG OF ALL INSPECTIONS, CLEANING AND REPAIRS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND BE AVAILABLE FOR REVIEW.

- A. CATCH BASINS/YARD DRAINS
 - CATCH BASINS ARE DESIGNED WITH 2-FOOT MINIMUM DEPTH SUMPS FOR THE PURPOSE OF COLLECTING COARSE SEDIMENT. ALL CATCH BASINS SHOULD BE INSPECTED TWO TIMES PER YEAR, TYPICALLY WHEN THE SITE IS SWEEPED IN THE SPRING AFTER WINTER SANDING AND IN THE FALL AFTER ALL THE LEAVES HAVE FALLEN. SITE SWEEPING SHALL BE PROVIDED BETWEEN APRIL 15 AND MAY 15 EACH SPRING.
 - SEDIMENT SHOULD BE REMOVED WHEN IT EXTENDS TO WITHIN 6 INCHES OF THE OUTLET PIPE INVERT OR NOT LESS THAN ONCE PER YEAR. CLEANOUT WITH A VACUUM TRUCK IS GENERALLY THE BEST AND MOST CONVENIENT METHOD. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED OFF-SITE LOCATION IN ACCORDANCE WITH TOWN AND STATE REQUIREMENTS.
- B. PAVEMENT SWEEPING
 - THE PARKING AREA AND ROADWAY SHALL BE SWEEPED ANNUALLY. SWEEPING SHOULD OCCUR IN THE SPRING AFTER WINTER SANDING, BETWEEN APRIL 15 AND MAY 15. SALT ALTERNATIVES SHALL BE USED DURING WINTER MONTHS FOR DEICING.
- C. UNDERGROUND INFILTRATION SYSTEMS
 - UNDERGROUND INFILTRATION SYSTEMS SHALL BE INSPECTED QUARTERLY AND SEDIMENT SHALL BE REMOVED AS NEEDED TO ENSURE PROPER FUNCTIONING OF STRUCTURES. AREAS OF DISTURBANCE THAT MAY BE AS A RESULT OF CLEANING SHALL BE SEEDED AND PLANTED IN ACCORDANCE WITH THE ORIGINAL PLANTING PLAN. THESE STRUCTURES WILL BE MAINTAINED YEARLY, OR MORE FREQUENTLY AS REQUIRED. WASTE MATERIAL WILL BE PROPERLY DISPOSED OF OFF-SITE.
- D. PROPRIETARY HYDRODYNAMIC SEPARATOR
 - BEFORE BEING DISCHARGED TO THE CTDOT SYSTEM, STORMWATER RUNOFF FROM THE ROADWAY AND BUILDING WILL BE DIRECTED TO A HYDRODYNAMIC SEPARATOR. THIS STRUCTURE WILL REMOVE SUSPENDED SOLIDS, DEBRIS AND FLOATABLES CONSTITUENTS FROM STORMWATER. OIL, SCUM, AND SEDIMENT WILL EVENTUALLY ACCUMULATE AND CAN BE REMOVED THROUGH A MANHOLE LOCATED AT THE TOP OF THE SEPARATOR. THIS STRUCTURE WILL BE MAINTAINED YEARLY, OR MORE FREQUENTLY AS REQUIRED. THE UNIT SHOULD BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. WASTE MATERIAL WILL BE PROPERLY DISPOSED OF OFF THE SITE.
- E. LAWN AND VEGETATED AREAS
 - VEGETATED COVER SHALL BE MAINTAINED ON ALL EARTH SURFACES TO MINIMIZE SOIL EROSION. USE IF FERTILIZER SHOULD BE MINIMIZED AND APPLIED USING PRUDENT APPLICATION PROCESSES.
- F. ROOF GUTTERS
 - REMOVE ACCUMULATED DEBRIS AND INSPECT FOR CLOGGING AND/OR DAMAGE AT LEAST ONCE A YEAR, TYPICALLY IN THE FALL AFTER THE LEAVES HAVE FALLEN. ANY DAMAGE SHOULD BE REPAIRED AS REQUIRED.

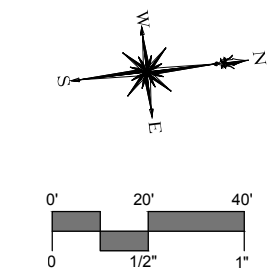


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CONDITIONS OF APPROVAL	07/31/2020	RTE
SITE PLAN AMENDMENT	01/07/2022	SK

SITE PLAN - GRADING AND UTILITIES
PROPOSED MAURO MOTORS PRE-OWNED AUTOMOTIVE SALES & SERVICE
 576 WASHINGTON AVENUE (ROUTE 5)
 NORTH HAVEN, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED
SCALE: 1"=40'		
DATE: JUNE 7, 2019		
PROJECT NO.: 1894-06		
SHEET NO.: 4 OF 15		
SHEET NAME: GU		

180521 - 1. Amend 2022, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



DESCRIPTION	DATE	BY
DOT COMMENTS	9/25/2019	SK
CONDITIONS OF APPROVAL	11/21/2019	RVE
SCOPE REDUCTION	01/29/2020	SK
PLANNING & ZONING RESUBMISSION	02/22/2020	SK
CONDITIONS OF APPROVAL	07/13/2020	RVE
SITE PLAN AMENDMENT	01/07/2021	SK

SEDIMENT AND EROSION CONTROL PLAN
PROPOSED MAURO MOTORS PRE-OWNED AUTOMOTIVE SALES & SERVICE
 576 WASHINGTON AVENUE (ROUTE 5)
 NORTH HAVEN, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED

SCALE: 1"=40'

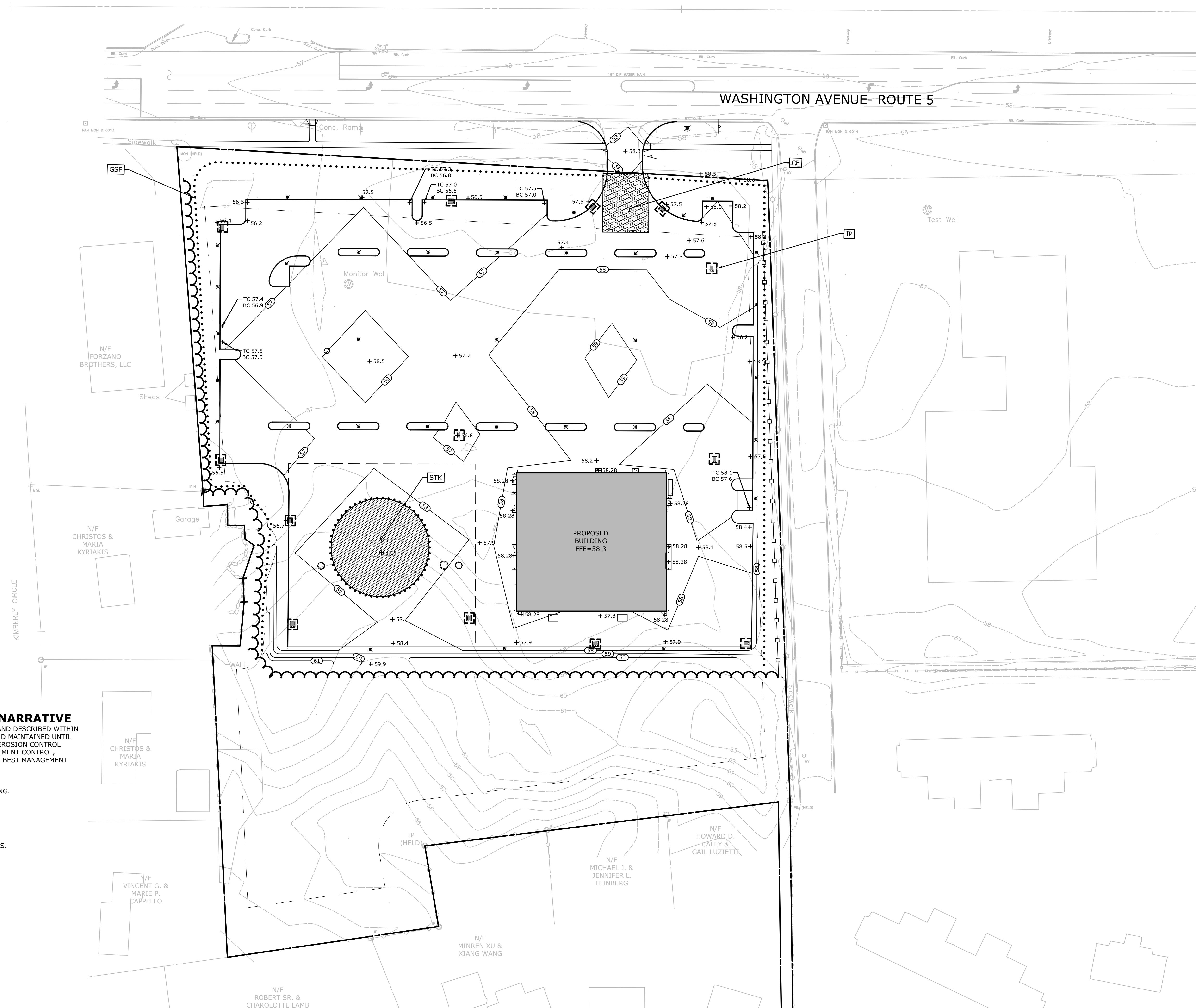
DATE: JUNE 7, 2019

PROJECT NO.: 1894-06

SHEET NO.: 5 OF 15

SE-1

SHEET NAME



SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, TOWN OF NORTH HAVEN STANDARDS, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- PURPOSE AND DESCRIPTION OF PROJECT**
 A.) CONSTRUCTION OF A PRE-OWNED AUTOMOTIVE SALES & SERVICE BUILDING.
 B.) DISTURBED AREA: ±4.9 AC.
 - IDENTIFICATION OF EROSION AND SEDIMENT CONTROL CONCERNS**
 A.) CUTS AND FILLS ASSOCIATED WITH CONSTRUCTION.
 - IDENTIFICATION OF OTHER POSSIBLE PERMITS**
 THE PERMITS REQUIRED FOR THE PROJECT ARE PLANNING AND ZONING PERMITS.
 - RESPONSIBLE PARTY**
 MICHAEL MAURO
 576 WASHINGTON AVENUE LLC.

EROSION CONTROL LEGEND

- CE CONSTRUCTION ENTRANCE
- IP INLET PROTECTION (TYP. OF ALL INLETS)
- GSF SEDIMENT FILTER FENCE
- STK SOIL STOCKPILE SURROUNDED WITH SEDIMENT FILTER FENCE